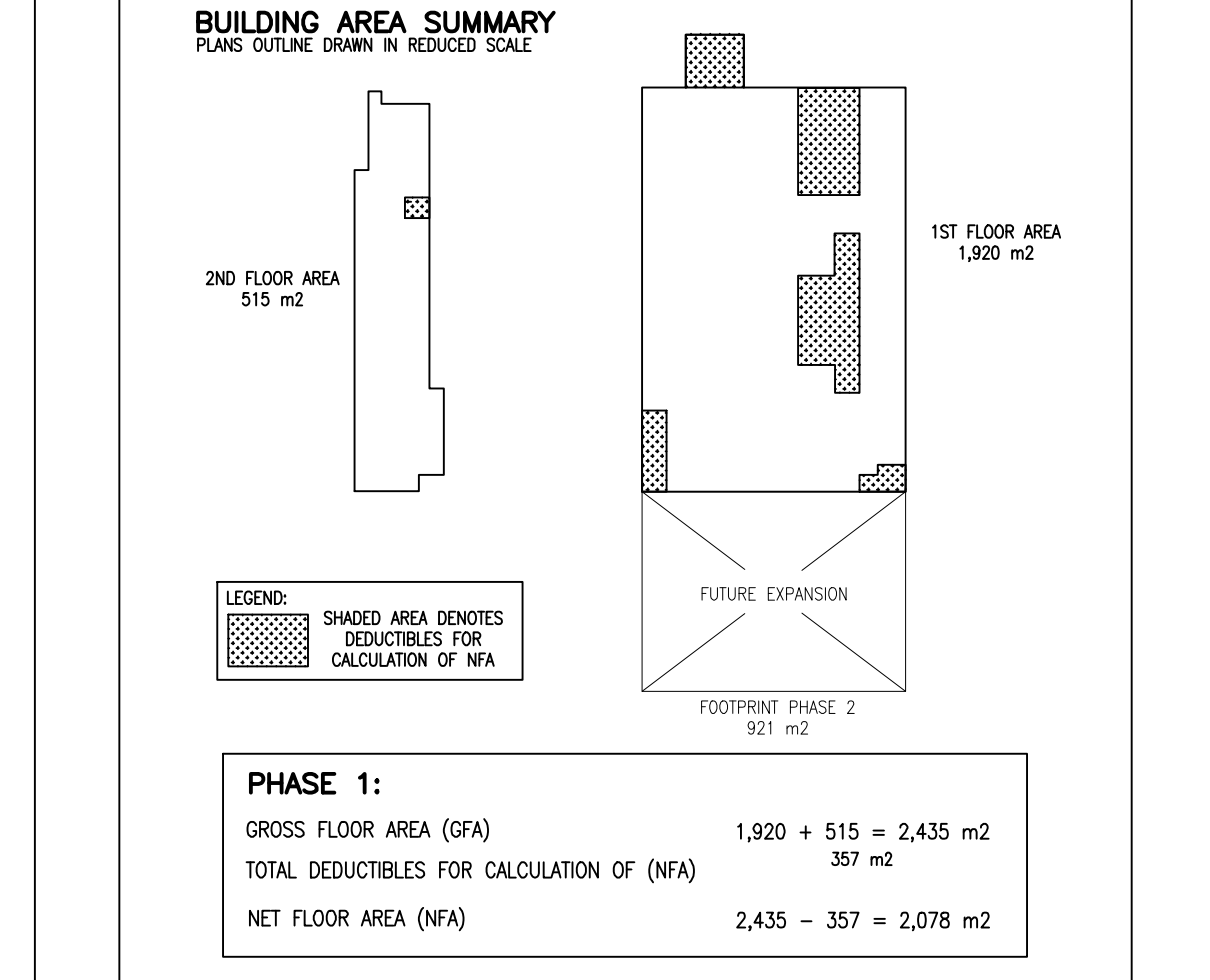
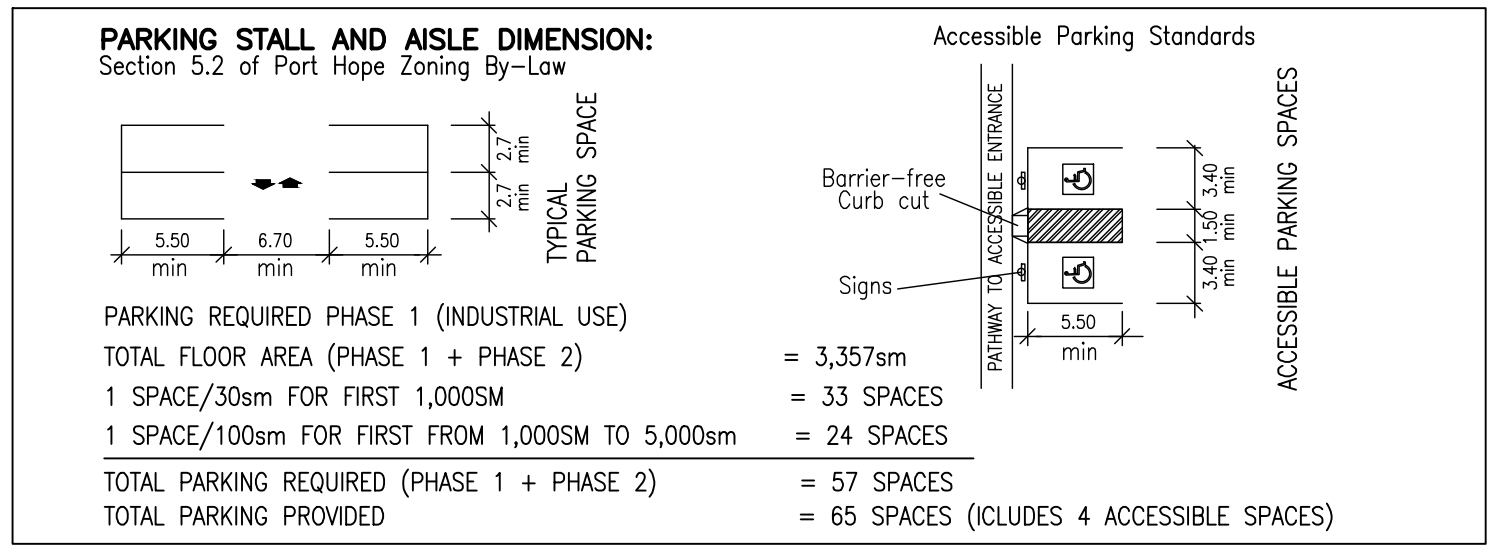
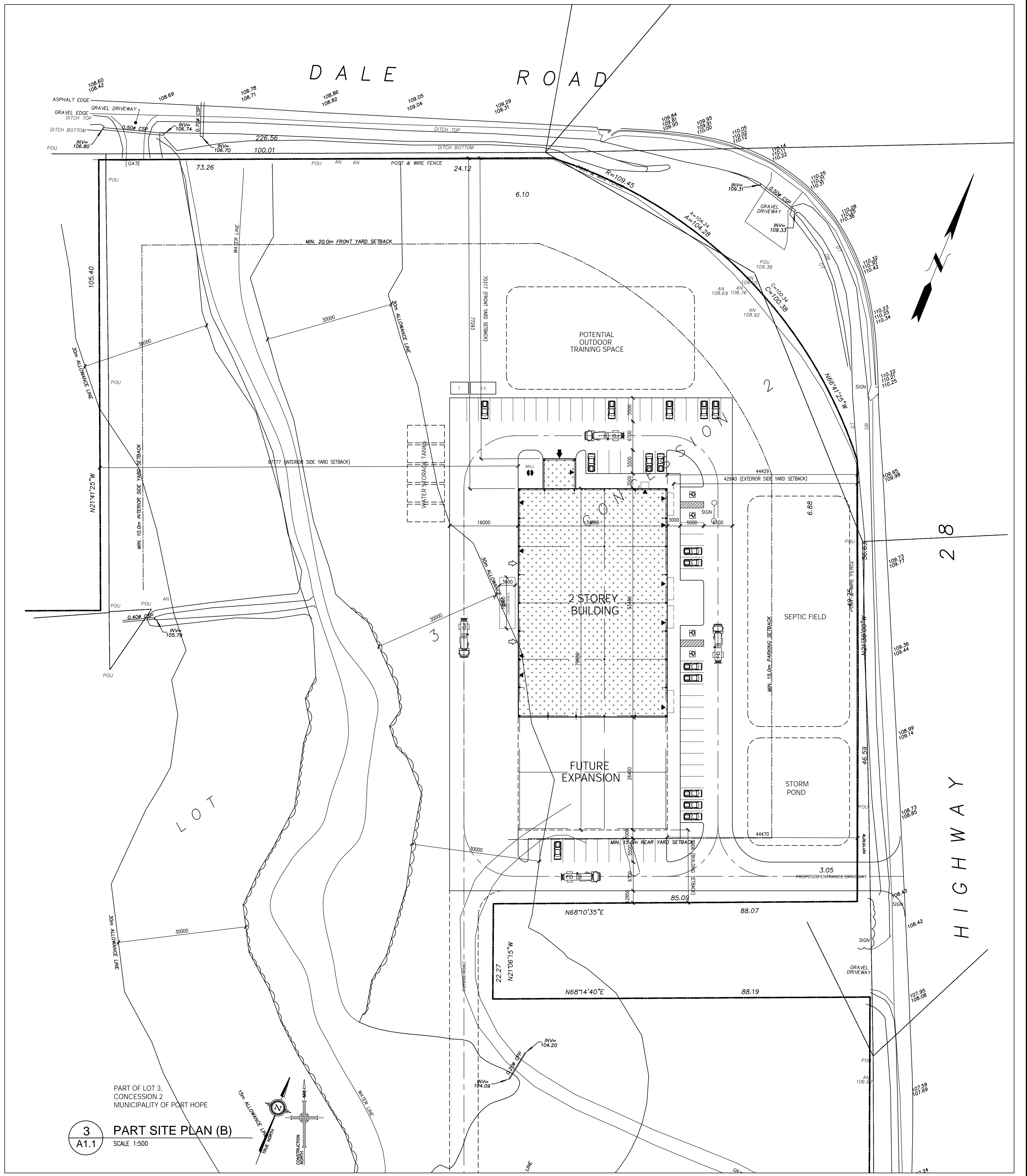
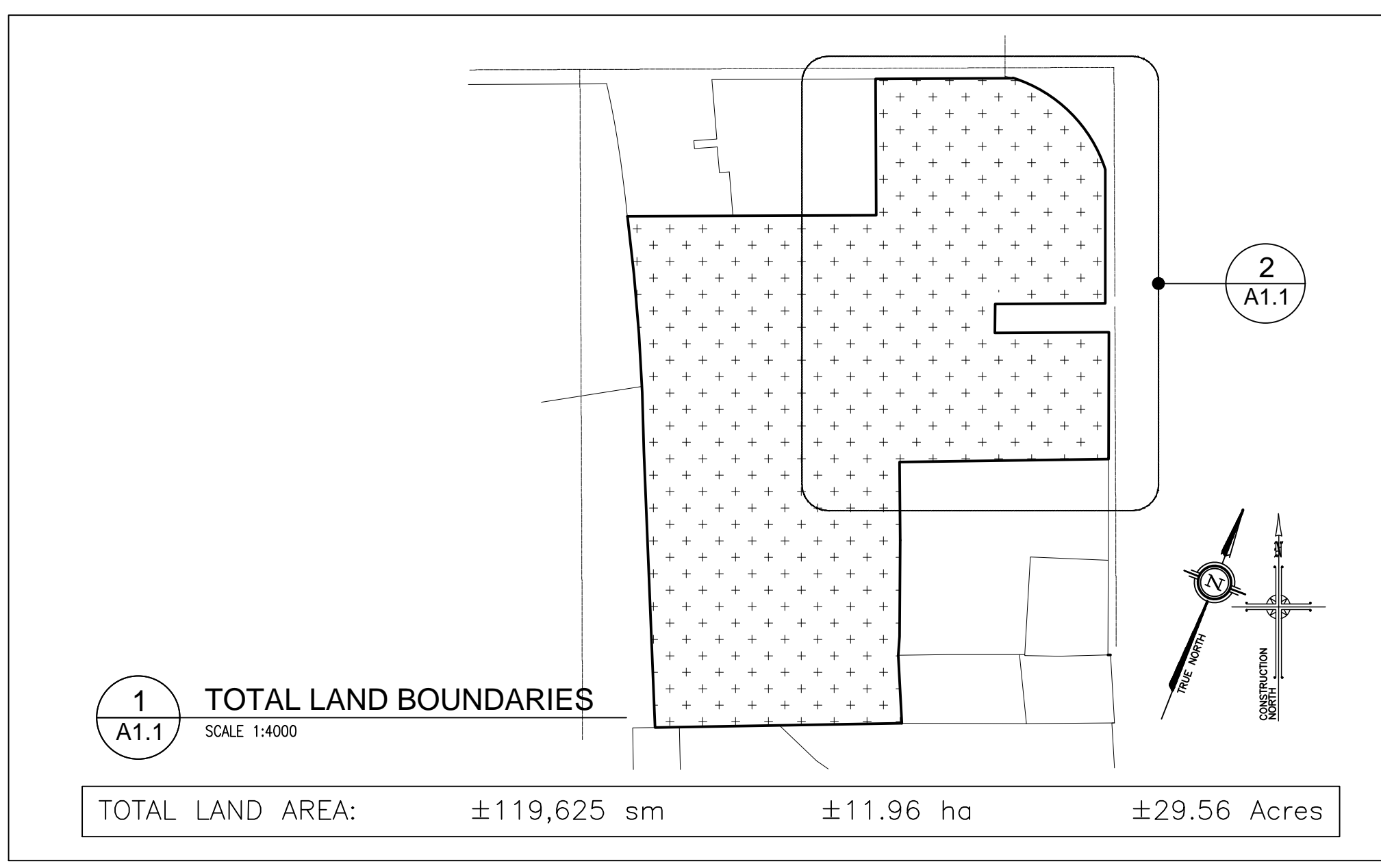
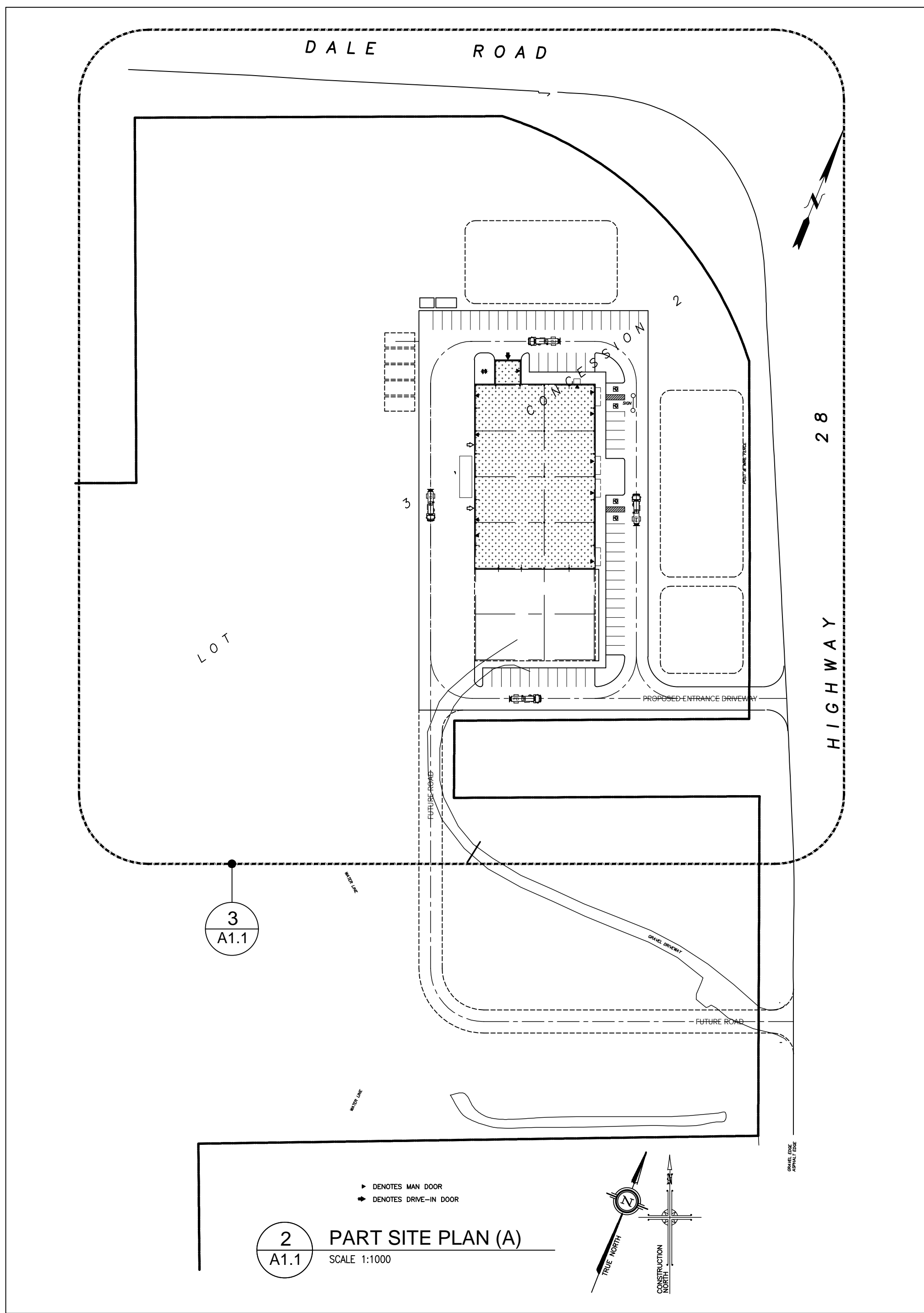


2012 ONTARIO BUILDING CODE MATRIX			
NAME OF PROJECT:		LOCATION:	
JUSTIN WILLIAMS TRAINING FACILITY		DALE ROAD & HIGHWAY 28 PORT HOPE, ONTARIO	
Item	Ontario's 2012 Building Code Data Matrix Parts 3 & 9	OBC Reference	
		References are to Division B unless noted (S) for Division A or (C) for Division 2.	
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration SPORTS TRAINING FACILITY	11.1 to 11.4	1.1.2.(A) & 9.10.1.3.
2	Major Occupancy (k) Group A, Division 3 Building Area Phase 1 (m ²) Existing - New 1,920 Total 1,920 Building Area Phase 2 (m ²) Existing - New 921 Total 921 Total Building Area (m ²) Existing - New 2,841 Total 2,841	3.1.2.1.(1)	9.10.2.
3	Total Floor Area Phase 1 (m ²) Existing - New 2,435 Total 2,435 Total Floor Area Phase 2 (m ²) Existing - New 921 Total 921 Total Floor Area (m ²) Existing - New 3,356 Total 3,356	1.4.1.2.(A)	1.4.1.2.(A)
4	Number of Storeys Above Grade TWO Below Grade -	1.4.1.2.(A) & 3.2.2.10	1.4.1.2.(A) & 3.2.2.10
5	Number of Storeys Above Grade TWO	3.2.2.10 & 3.2.5.	9.10.20.
6	Building Classification 3.2.2.31, (Group A, Division 3, 2 Storey Sprinklered) Max. Disp. Area 6,000 m ²	3.2.2.20 - 83	9.10.2.
7	Sprinkler System Proposed <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20 - 83 3.2.1.5. 3.2.2.17.	9.10.8.2. NDCX NDCX
8	Standpipes Required <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9.	N/A
9	Fire Alarm Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.	9.10.18.
10	Water Service/Supply is Adequate Private Well Water will be Provided <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7.	N/A
11	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.8.	N/A
12	Construction Restrictions <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> both	3.2.2.20 - 83	9.10.6.
13	Actual Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> both	3.2.1.1.(3)-(6)	9.10.4.1.
14	Mezzanine(s) Area m ² N/A (2nd FLOOR INTERCONNECTED)	3.2.1.1.(3)-(6)	9.10.4.1.
15	Occupant load based on m ² of floor area <input checked="" type="checkbox"/> design of building	3.1.17.	9.9.1.3.
REFER TO LETTER OF USE PROVIDED BY THE OWNER.			
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8.	9.5.2.
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Hazardous Material Storage Area	3.3.1.2 & 3.3.1.3.	9.10.1.3.(4)
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies Floors ONE Hours Roof - Hours Mezzanine - Hours FRR of Supporting Members Floors ONE Hours Roof - Hours Mezzanine - Hours	Listed Design No. or Description (SB-3) 3.2.2.20 - 83 & 3.2.1.4 3.2.1.4	9.10.8. 9.10.9.
19	Special Separation - Construction of Exterior Walls Wall Area of (EFT) (m ²) L ₁ (m) L ₂ (m) L ₃ (m) Permitted Max. % of Opening Processed (hours) Listed Design No. or Description Combustible Non-Comb. Construction Comb. Construction	3.2.3. 3.2.3.	9.10.14.
20	INTERCONNECTED FLOOR SPACE INTERCONNECTED FLOOR SPACE BETWEEN 1st FLOOR 2nd FLOOR IS PERMITTED UNDER 3.2.8.2.(c), & 3.2.8.2.6.(c), FOR GROUP A DIVISION 3, IN A SPRINKLERED BUILDING.		

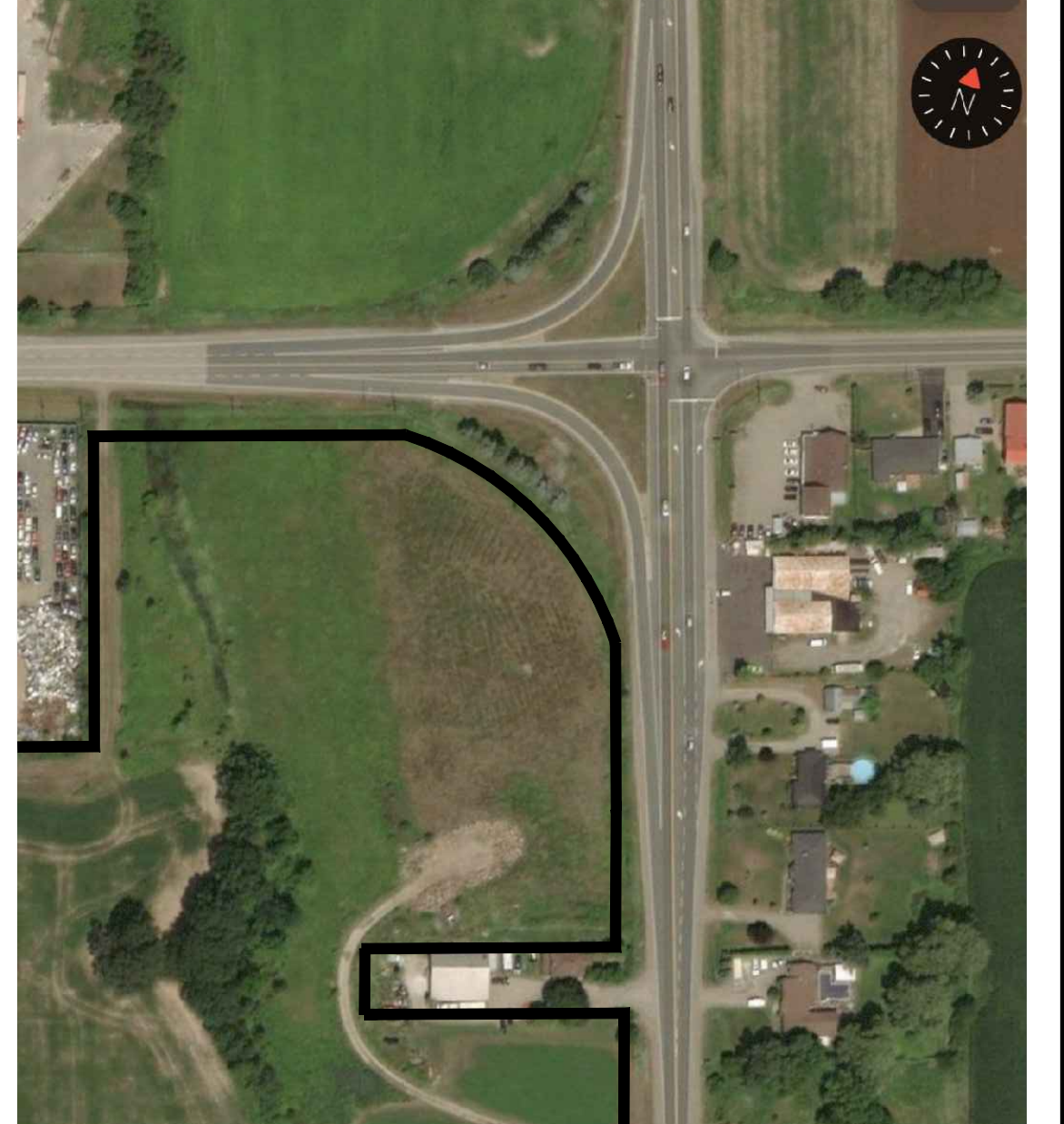
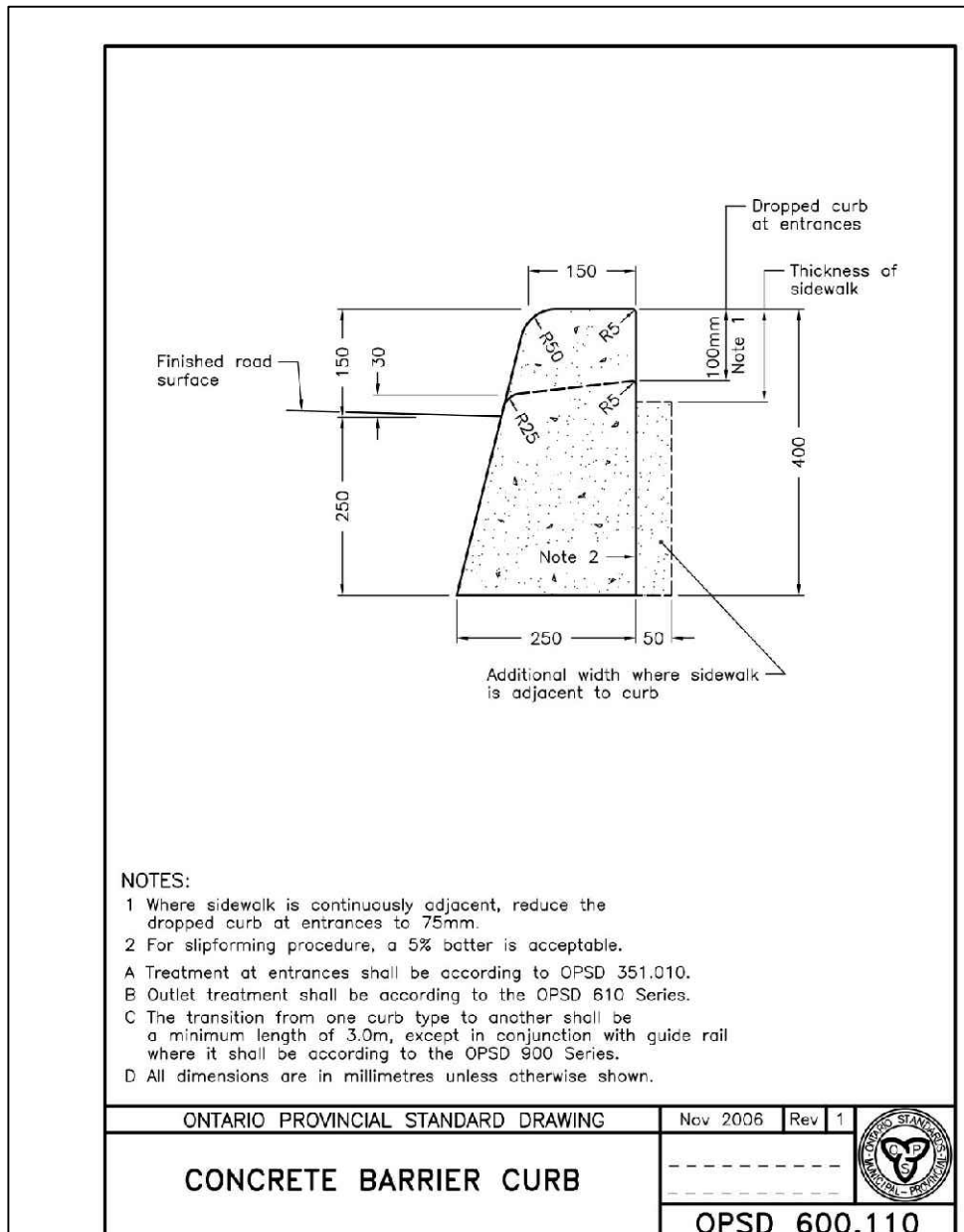
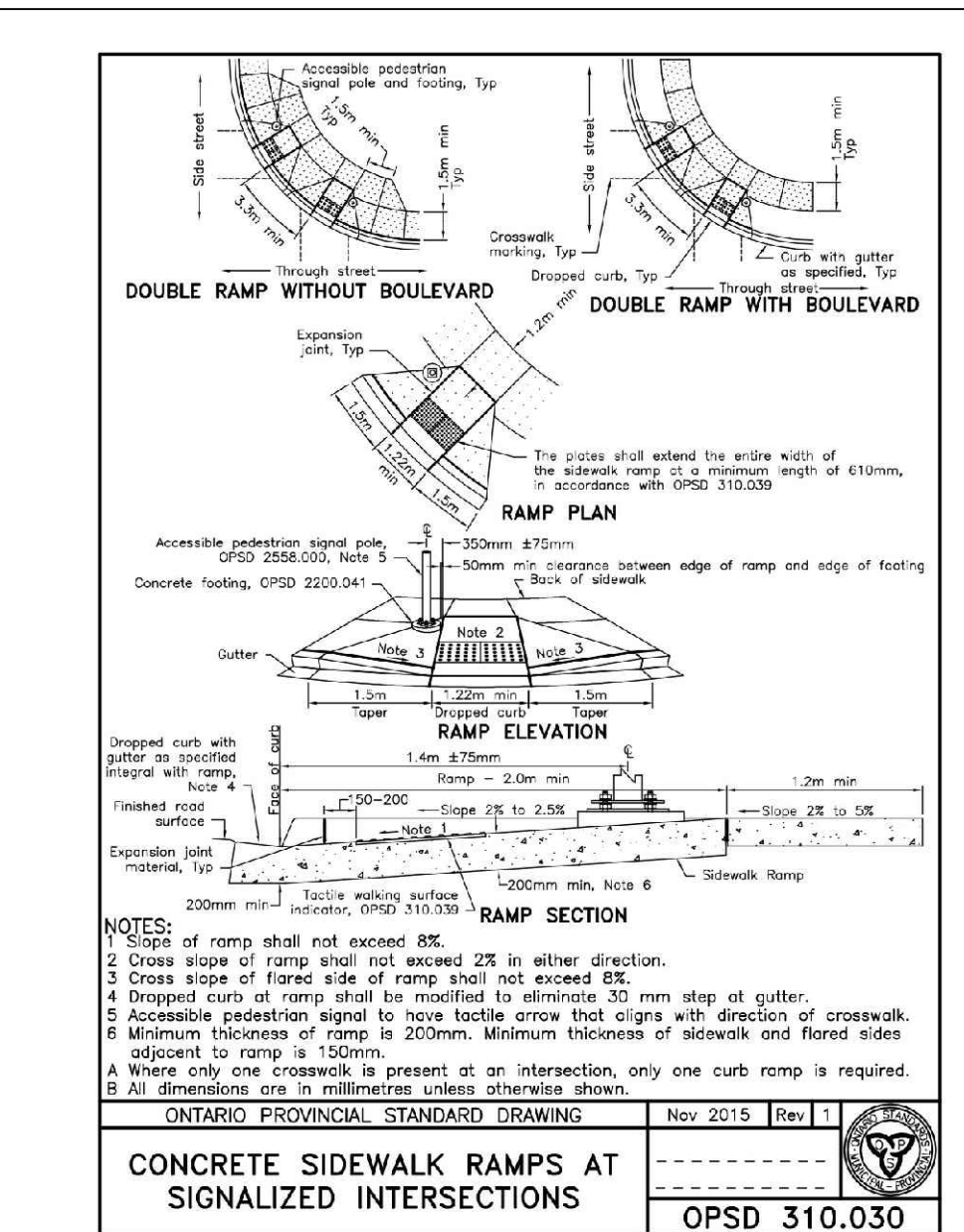
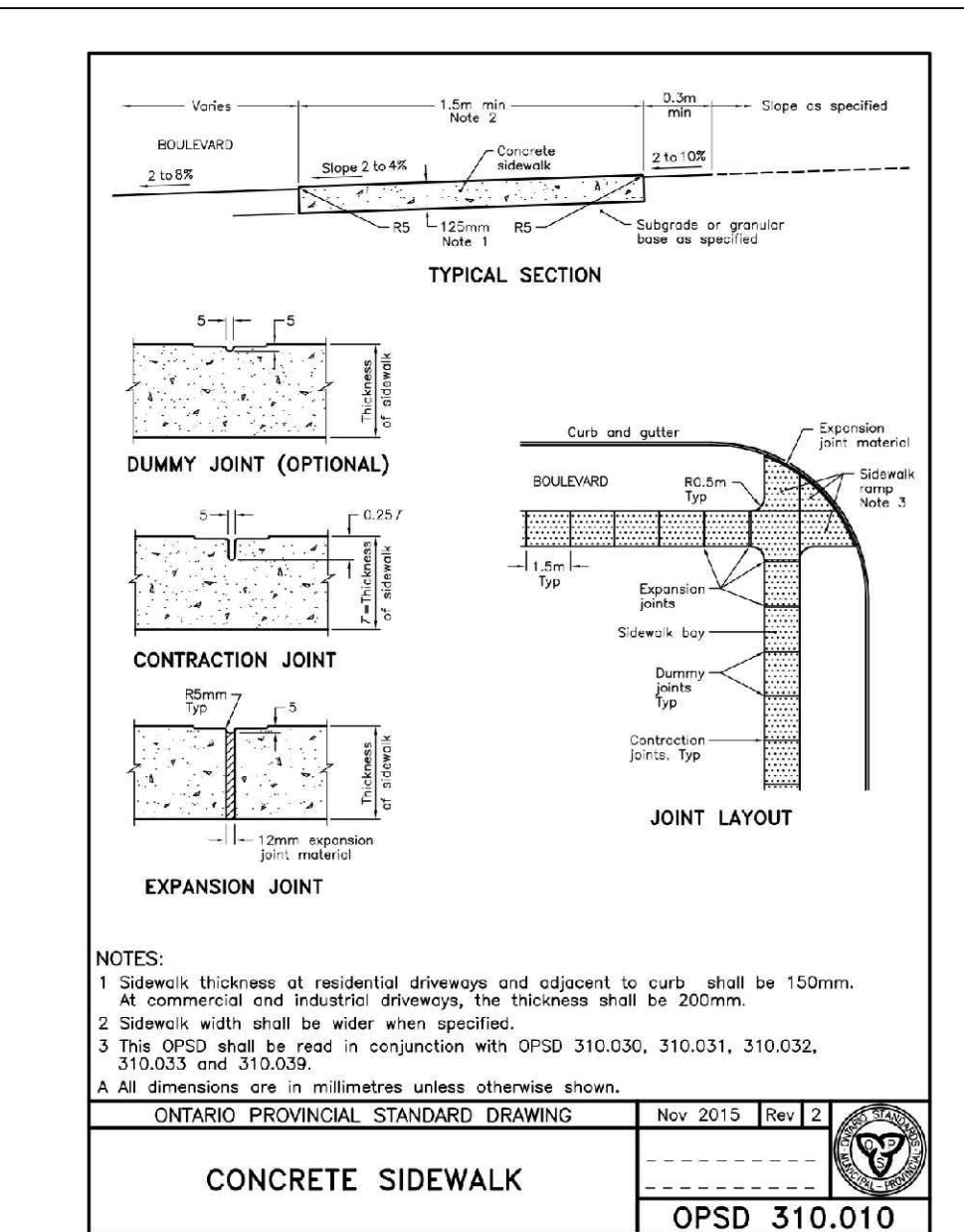
BUILDING & PROJECT INFORMATION:	
TOTAL LAND AREA:	±119,625 m ²
Building Area Phase 1 (FOOTPRINT / OBC):	1,920 m ²
Building Area Phase 2 (FOOTPRINT / OBC):	921 m ²
TOTAL BUILDING AREA (FOOTPRINT / OBC):	2,841 m ²
TOTAL LOT COVERAGE (PHASE 1 + PHASE 2) (2,841 m ² : ±119,625 m ²):	±0.023%
TOTAL PAVED AREA:	4,498 m ²
TOTAL LANDSCAPE AREA (UNPAVED SOFT LANDSCAPE):	±112,286 m ²
Phase 1:	
FIRST FLOOR AREA:	1,920 m ²
SECOND FLOOR AREA:	515 m ²
TOTAL FLOOR AREA:	2,435 m ²
Phase 1:	
GROSS FLOOR AREA (GFA):	2,435 m ²
TOTAL DEDUCTIBLES FOR CALCULATION OF (NFA):	357 m ²
NET FLOOR AREA (NFA):	2,078 m ²



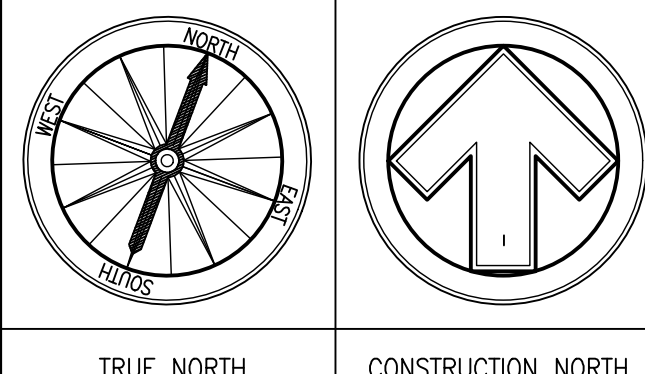
RESERVED	
PHASE 1:	
GROSS FLOOR AREA (GFA)	1,920 + 515 = 2,435 m ²
TOTAL DEDUCTIBLES FOR CALCULATION OF (NFA)	357 m ²
NET FLOOR AREA (NFA)	2,435 - 357 = 2,078 m ²



ZONING:			
ZONING:	EMP1 (Partial or Private Services)		
ZONING BY-LAW:	PERMITTED:	PROPOSED:	
PERMITTED USE:	INDUSTRIAL / SPORT TRAINING FACILITY	INDUSTRIAL / SPORT TRAINING FACILITY	
MIN. LOT AREA:	4,000.0 m ²	Approx. 119,625 m ²	
MIN. LOT FRONTAGE (NORTH):	30.0 m	Approx. 170.0 m	
MIN. REQUIRED FRONT YARD (NORTH):	20.0 m	±70.3 m	
MIN. REQUIRED EXTERIOR SIDE YARD (EAST):	20.0 m	±42.9 m	
MIN. REQUIRED INTERIOR SIDE YARD (WEST):	10.0 m	±97.7 m	
MIN. REQUIRED REAR YARD (SOUTH):	15.0 m	±17.0 m	
MAX. LOT COVERAGE:	50% (1,920 m ² : 119,625 m ²)	Approx. 0.016%	
MAX. LOT COVERAGE (AFTER EXPANSION):	50% (2,841 m ² : 119,625 m ²)	Approx. 0.023%	
MAX. BUILDING HEIGHT:	12.0 m	10.0 m	



FARID MOTAMED ARCHITECT INC.
 3 CHASE ROAD
 TORONTO, ONTARIO
 M2J 2S1 CANADA
 TEL: (416) 221-8447
 FAX: (416) 221-6533
 E-mail: info@fmarchitect.ca
 Website: www.fmarchitect.ca



- NOTES:**
- Verify all dimensions prior to construction.
 - Do not scale drawings.
 - Report all discoveries of errors, omissions or discrepancies to the architect or design engineer as applicable.
 - Use only latest revised drawings or those that are marked, issued for construction.
 - The drawings are the property of the architect and/or engineer and must be returned on completion of the project. Any unauthorized use is prohibited.
 - All area calculations are approximate.

REVISIONS			
No.	DATE	BY	DESCRIPTION
1	JULY 16, 2021	F.M.	ISSUED FOR COORDINATION
2	JULY 26, 2021	F.M.	ISSUED FOR COORDINATION
3	AUGUST 27, 2021	F.M.	ISSUED FOR COORDINATION
4	SEPTEMBER 01, 2021	F.M.	ISSUED FOR COORDINATION
5	SEPTEMBER 22, 2021	F.M.	ISSUED FOR COORDINATION
6	OCTOBER 05, 2021	F.M.	ISSUED FOR COORDINATION
7	DECEMBER 09, 2021	F.M.	ISSUED FOR COORDINATION

NOTE: INFORMATION ON THIS DRAWING IS PARTLY TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 3, CONCESSION 2, MUNICIPALITY OF PORT HOPE, COUNTY OF NORTHUMBERLAND PREPARED BY: RW SURVEYORS DATED: AUG. 20, 2021 FILE NAME: A-029651-POS_V2.dwg

LEGAL ADDRESS:
 PART OF LOT 3, CONCESSION 2
 MUNICIPALITY OF PORT HOPE
 COUNTY OF NORTHUMBERLAND

OWNER:
 W3 Group Inc.
 200 RUTTEN ROAD
 GRAFTON, ONTARIO K0K 2G0, CANADA
 TEL: (805) 261-6035
 andrew@w3group.co

CLIENT:
LEESWOOD
 DESIGN BUILD LTD
 7200 WEST CREDIT AVENUE
 MISSISSAUGA, ONTARIO, L5N 5K1, CANADA
 TEL: (416) 309-4482 FAX: (416) 309-4483
 www.leeswood.ca

PROJECT:
 Justin Williams Training Facility
 Dale Road & Highway 28, Port Hope, Ontario

DRAWING:
 SITE PLAN & SITE DETAILS
 PROJECT INFORMATION

DATE: JULY 2021 **DRAWING No.:**

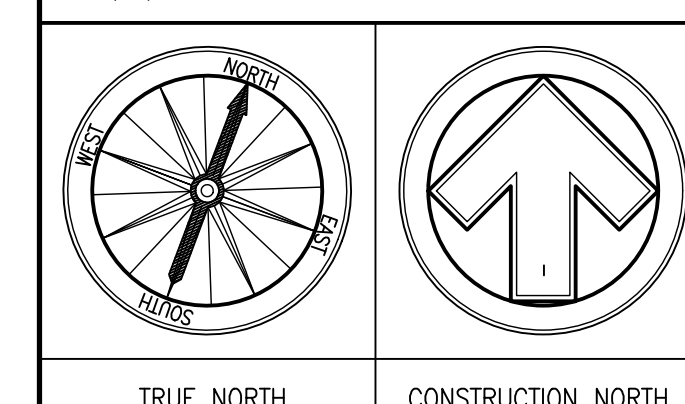
DRAWN BY: B.M.

CHECKED BY: F.M.

SCALE: AS SHOWN

ARCHITECTS JOB No.: FMA-21 117

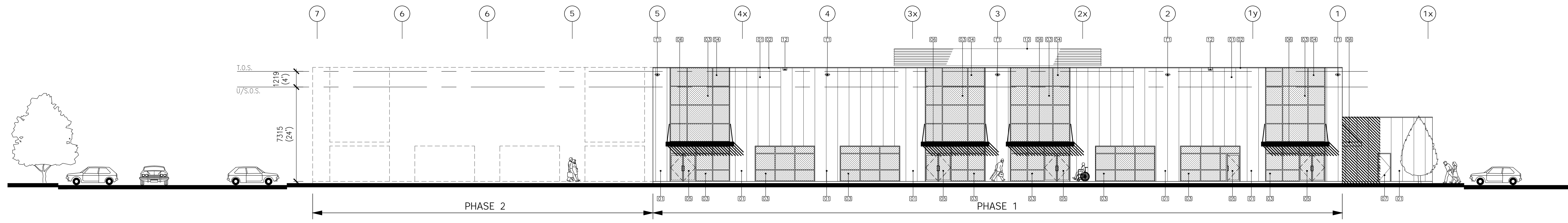
A1.1



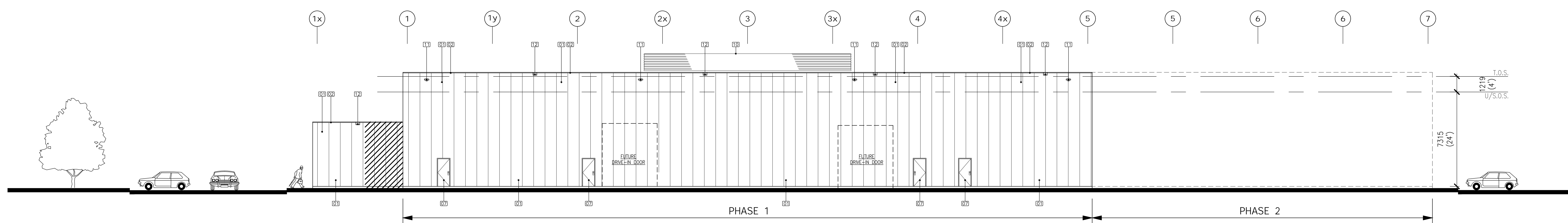
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REVISIONS

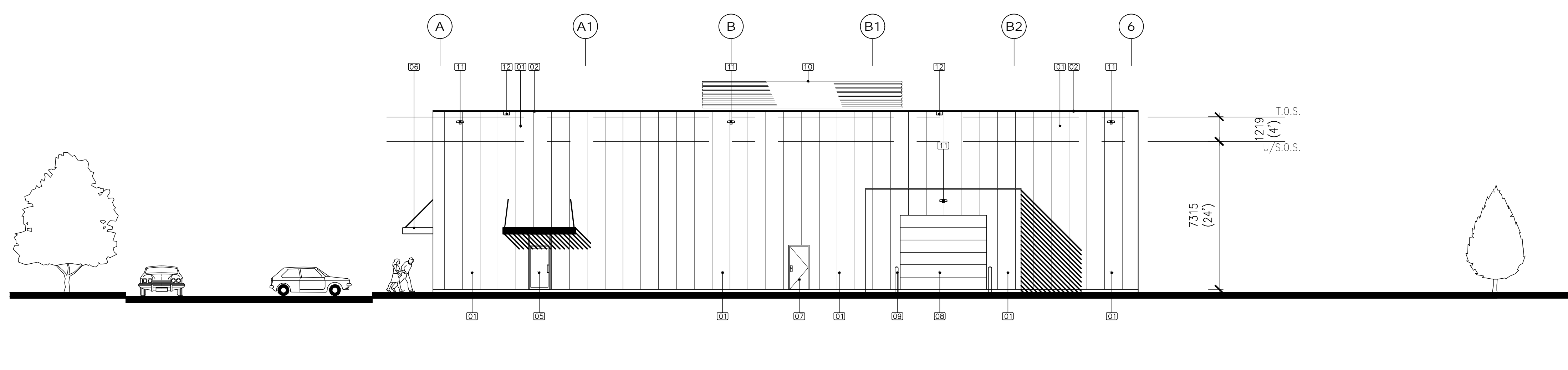
No.	DATE	BY	DESCRIPTION
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2	AUGUST 09, 2021	F.M.	ISSUED FOR COORDINATION
3	AUGUST 27, 2021	F.M.	ISSUED FOR COORDINATION
4	SEPTEMBER 01, 2021	F.M.	ISSUED FOR COORDINATION
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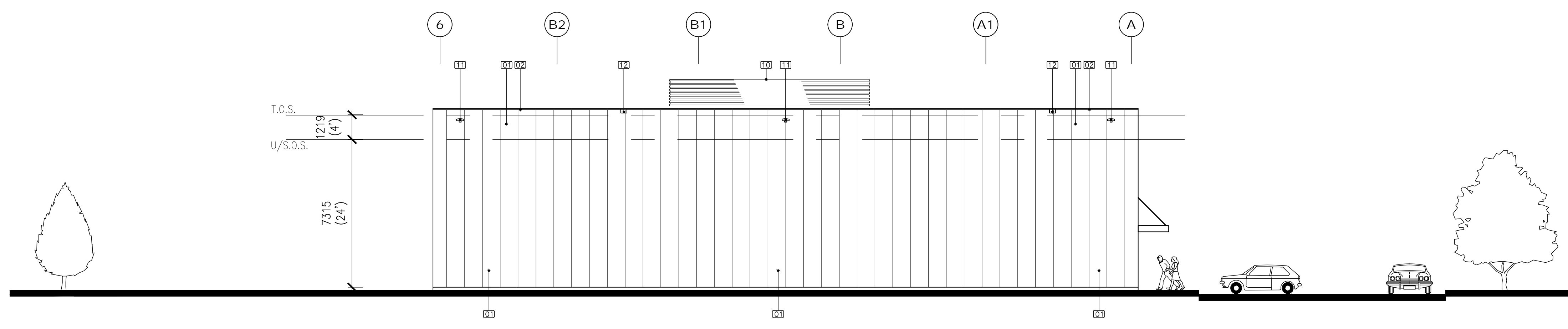
1 FRONT ELEVATION (EAST)
 A3.1 SCALE 1:150



2 REAR ELEVATION (WEST)
 A3.1 SCALE 1:150



3 SIDE ELEVATION (NORTH)
 A3.1 SCALE 1:150



4 SIDE ELEVATION (SOUTH)
 A3.1 SCALE 1:150

- TYPICAL EXTERIOR WALLS**
 INSULATED METAL SANDWICH PANEL WALLS (COLOUR T.B.D.):
 76mm (3") THK. INSULATED METAL SANDWICH PANELS WITH 26 GA. GALVANIZED STEEL FACE SHEETS, SHOWING EMBROSSED FINISH ON BOTH SIDES WITH CONCEALED FASTENERS. (R=7.2 PER INCH)
- TYPICAL ROOF FLASHING**
 26 GAUGE PREFINISHED METAL CAP FLASHING.
 COLOUR TO MATCH THE EXTERIOR WALL PANELS AS CLOSE AS POSSIBLE.
- CURTAINWALL GLAZING**
 THERMALLY BROKEN ALUMINUM CURTAIN WALL FRAMES C/W SEALED LOW-E COATED ARGON FILLED, WIND EGGED SPACERS U-VALUE FOR ASSEMBLED VALUE OF 0.35 OR LOWER. SASH OF 64 OR LOWER. DOUBLE GLAZING UNITS, INNER SHEET TO BE CLEAR GLAZING, OUTER SHEET TO BE TINTED GLAZING. INNER AND OUTER SHEETS ALSO TO BE TEMPERED AT DOOR SIDE LIGHTS. EXTERIOR CAPS AND INTERIOR SASH TO BE CLEAR ANODIZED. VERTICAL JOINTS TO BE STRUCTURAL SILICONE WHERE SHOWN. ALUMINUM EXTRUSIONS TO BE 6063-T5 ALLOY (OR APPROVED ALTERNATIVE), WITH ELASTOMERIC GASKETS COMPATIBLE WITH SILICONE SEALANT. GLASS TO BE 6mm (1/2") FLOAT GLASS, THERMALLY DOUBLE SEALED INSULATED.
- CURTAINWALL SPANDREL GLAZING**
 THERMALLY BROKEN ALUMINUM CURTAIN WALL FRAMES C/W 1" TINTED HEAT STRENGTHENED SPANDREL GLAZING WITH 4" CURTAINWALL ROXUL INSULATION.
 TOTAL R VALUE = 19.43
 22 GA. GALVANIZED BACK PAN. EXTERIOR CAPS AND INTERIOR SASH TO BE CLEAR ANODIZED. VERTICAL JOINTS TO BE STRUCTURAL SILICONE WHERE SHOWN. ALUMINUM EXTRUSIONS TO BE 6063-T5 ALLOY (OR APPROVED ALTERNATIVE), WITH ELASTOMERIC GASKETS COMPATIBLE WITH SILICONE SEALANT.
- GLAZED ALUMINUM DOORS**
 CLEAR ANODIZED FINISHED ALUMINUM DOORS AND FRAME C/W SEALED TINTED LOW-E COATED TEMPERED GLAZING. DOORS TO BE WEATHER STRIPPED, KAMNEER 190 SERIES OR APPROVED EQUAL.
- EXPOSED STEEL SUSPENDED CANOPIES**
 GALVANIZED STEEL SUSPENDED CANOPY PAINT FINISHED. COLOUR T.B.D.
- TYPICAL EXTERIOR HOLLOW METAL DOORS**
 18 GAUGE INSULATED HOLLOW METAL DOOR AND 16 GAUGE HOLLOW METAL FRAME, PAINT FINISHED. COLOUR TO MATCH THE EXTERIOR WALL PANELS AS CLOSE AS POSSIBLE.
- 4268 x 3058 (14'W x 12'H) CHAIN OPERATED, PREFINISHED STEEL SECTIONAL MAXIMUM LIFT OVERHEAD BROW DOORS WITH HEAVY DUTY 3" GALVANIZED TRACK, WEATHER STRIPPING, INSULATED (R=12.5).**
- 4" O.D. CONC. FILLED STEEL BILLIARDS, 4'-0" ABOVE FINISHED GRADE, PAINTED.**
- MECHANICAL ROOF SCREEN**
 26 GA. PREFINISHED METAL ON GALVANIZED STRUCTURAL STEEL FRAMING.
 COLOUR T.B.D.
- EXTERIOR WALL MOUNTED YARD LIGHT. REFER TO ELECTRICAL DRAWINGS. COLOUR T.B.D.**
- SCUPPER DRAIN.**

5 EXTERIOR FINISHES LEGEND
 A3.1 SCALE -

LEGAL ADDRESS

PART OF LOT 3, CONCESSION 2
 MUNICIPALITY OF PORT HOPE

OWNER W3 Group Inc.
 200 RUTEN ROAD
 GRAFTON, ONTARIO K0K 2G0, CANADA
 TEL: (505) 261-6035
 andrew@w3group.ca

CLIENT
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 MISSISSAUGA, ONTARIO, L5N 5K1, CANADA
 TEL: (416) 309-4482 FAX: (416) 309-4483
 www.leeswood.ca

PROJECT
 Justin Williams Training Facility
 Date Road & Highway 28, Port Hope, Ontario

DRAWING
 BUILDING ELEVATIONS
 WALL TYPES LEGEND

DATE	JULY 2021	DRAWING No.	
DRAWN BY	B.M.		
CHECKED BY	F.M.		
SCALE	AS SHOWN		
ARCHITECTS JOB No.	FMA-21 117		

A3.1